

DRAWING SCHEDULE

- 01 FRONT PERSPECTIVE/CONTENTS
- 02 AXON RENDERS/MATERIALS
- 03 SITE PLAN
- 04 SUBDIVISION PLAN
- 05 SEDIMENT CONTROL PLAN
- 06 STREETScape
- 07 SUN STUDY
- 08 SITE ANALYSIS PLAN
- 09 DEMOLITION PLAN
- 10 CUT/FILL PLAN
- 11 GROUND FLOOR PLAN
- 12 FIRST FLOOR PLAN
- 13 ROOF PLAN
- 14 ELEVATIONS
- 15 ELEVATIONS
- 16 SECTIONS/COMMON WALL DETAIL
- 17 SWIMMING POOL DETAILS
- 18 WINDOW & DOOR SCHEDULE
- 19 LANDSCAPE PLAN
- 20 A4 NOTIFICATION PLAN (SITE)
- 21 A4 NOTIFICATION PLAN (ELEVATIONS)



43

ARAB RD

PADSTOW

PROPOSED DUAL OCCUPANCY



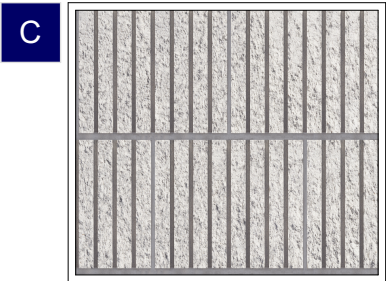
EXTERNAL MATERIAL SCHEDULE



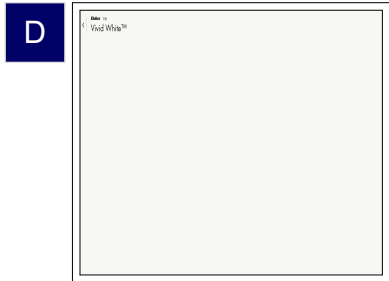
PGH BRICKS - SEASCAPE SEA SALT



COLORBOND ROOF - MONUMENT



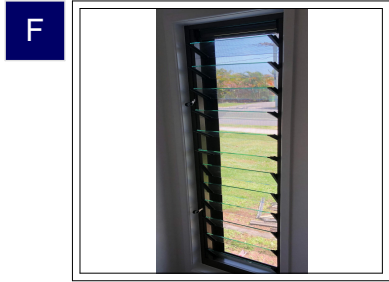
AUSTRAL BRICKS- VERTICO SPLITFACE- PORCELAIN



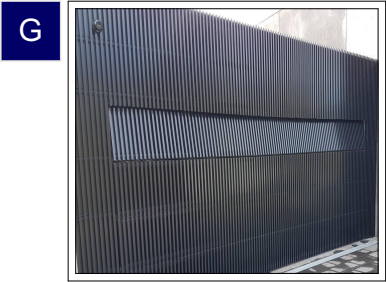
DULUX VIVID WHITE



BLACK ALUMINIUM FRONT DOOR



LOUVRE WINDOW



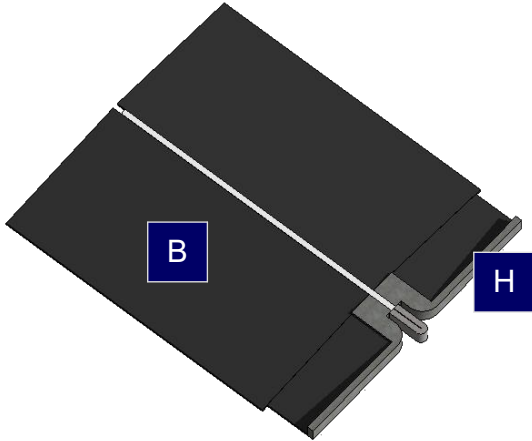
BLACK SEAMLESS GARAGE DOOR



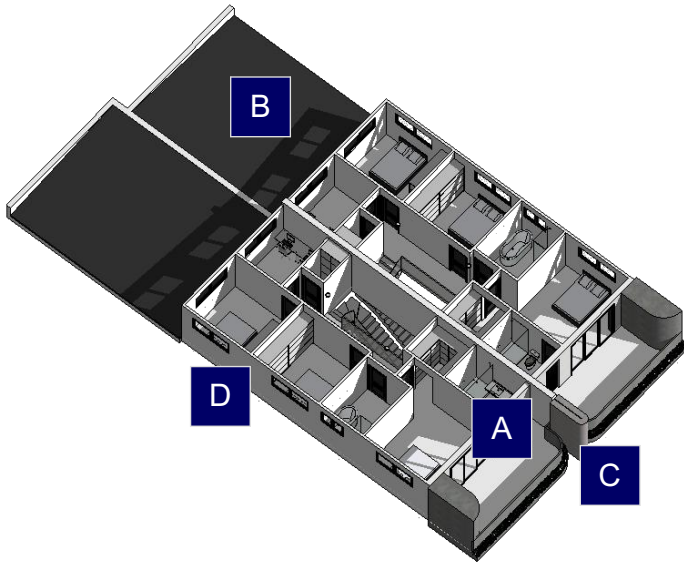
CONCRETE FINISH OR SIMILAR

AXONOMETRIC RENDERS

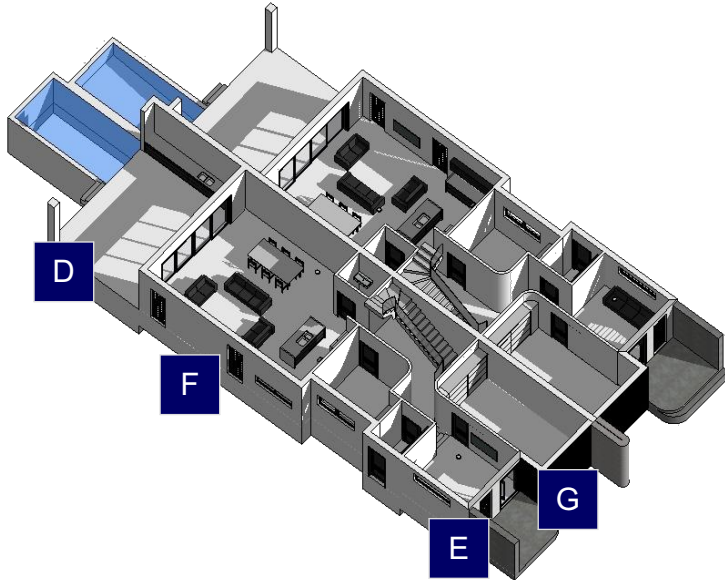
ROOF



FIRST FLOOR



GROUND FLOOR



LEGEND

- S SINK
- + REDUCED LEVEL
- S/O STOVE/OVEN COOKTOP
- (SA) SMOKE ALARM
- W WASHING MACHINE
- D DRYER
- F FRIDGE
- DW DISHWASHER
- (DP) DOWNPIPE
- T.O.R TOP OF ROOF
- T.O.P TOP OF PARAPET
- B.I.R BUILD IN ROBE
- W.I.R WALK IN ROBE
- WATER FLOW DIRECTION
- X° ROOF PITCH
- (FW) FLOOR WASTE
- L/C LINEN CUPBOARD
- P.O.S PRIVATE OPEN SPACE
- LP LIGHT POLE

GENERAL NOTES

- THE BUILDER SHALL CHECK AND VERIFY ALL DIMENSIONS AND VERIFY ALL ERRORS AND OMISSIONS TO THE ARCHITECT. DO NOT SCALE THE DRAWINGS. DRAWINGS SHALL NOT BE USED FOR CONSTRUCTION PURPOSES UNTIL ISSUED BY THE ARCHITECT FOR CONSTRUCTION.

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- FOOTINGS AND BEAMS TO ENGINEERS DRAWING AND DETAIL.

- TIMBER USED SHALL BE IN ACCORDANCE WITH AS 1684 OF TIMBER FRAMING CODE.

- PROVIDE 50mm SETDOWN TO SLAB TO WET AREA (GROUND FLOOR).

- WET AREAS TO BE IN ACCORDANCE WITH AS3740 WATERPROOFING OF WET AREAS WITHIN RESIDENTIAL BUILDINGS.

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- ALL WINDOW SIZES ARE APPROXIMATE ONLY AND FINAL SIZES MUST BE DETERMINED BY THE BUILDER

- CONCEALED METAL FASTENED SHEET TO BE USED FOR ALL SKILLION ROOF COVERING

REVISION	NAME	DATE
REVISION A - SECTION 4.99	M.N	11/10/23

CAMPBELL HILL
GROUP PTY LTD.
Contact: 0433 375 386
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BDA
BUILDING DESIGNERS
ASSOCIATION OF AUSTRALIA

Client

MICK

Project Name

DUAL OCCUPANCY

At

43 ARAB RD, PADSTOW

Drawing Title:

- Axon Renders/Materials

Generic Axonometry, Generic Axonometry (1), Generic Axonometry (2)

BDAA ACCREDITATION NO:	Scale: As Noted	A3
6455	Designed By: M.N	

Project No:	Drawing No.:
J0450	02

Date: 11/10/2023



LEGEND

- S SINK
- + REDUCED LEVEL
- S/O STOVE/OVEN COOKTOP
- (SA) SMOKE ALARM
- W WASHING MACHINE
- D DRYER
- F FRIDGE
- DW DISHWASHER
- (DP) DOWNPIPE
- T.O.R TOP OF ROOF
- T.O.P TOP OF PARAPET
- B.I.R BUILD IN ROBE
- W.I.R WALK IN ROBE
- WATER FLOW DIRECTION
- X° ROOF PITCH
- (FW) FLOOR WASTE
- L/C LINEN CUPBOARD
- P.O.S PRIVATE OPEN SPACE
- LP LIGHT POLE

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REVISION	NAME	DATE
REVISION A - SECTION 4.99	M.N	11/10/23

CAMPBELL HILL
GROUP PTY LTD.
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Email: campbellhillgroup@hotmail.com

BUILDING DESIGNERS
ASSOCIATION OF AUSTRALIA

Client
MICK

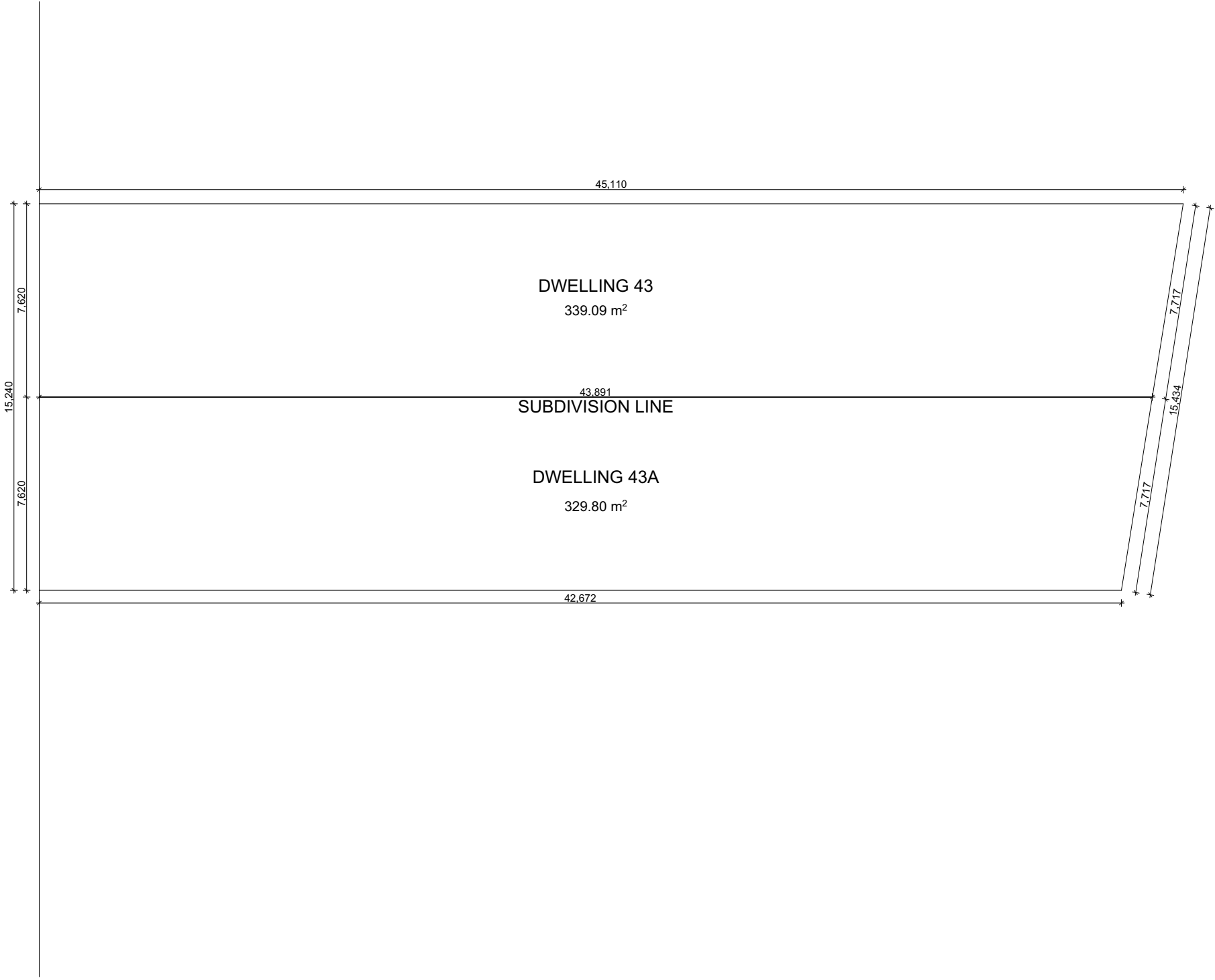
Project Name
DUAL OCCUPANCY

At
43 ARAB RD, PADSTOW

Drawing Title: - Subdivision Plan Subdivision Plan		
BDAA ACCREDITATION NO: 6455		Scale: As Noted A3
		Designed By: M.N
Project No: J0450		Drawing No.: 04
Date:		11/10/2023

ROAD
ARAB

BM
Drill Hole in Kerb
RL=5.21 (AHD)



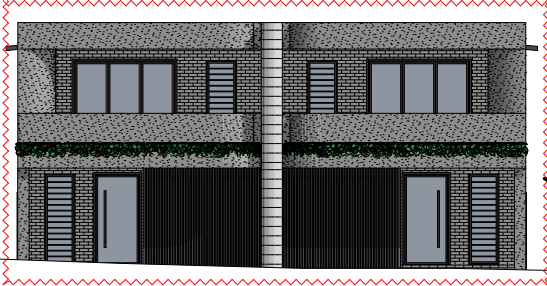
Subdivision Plan

1:200

41 ARAB ROAD



43 ARAB ROAD 43A ARAB ROAD



CANAL

Streetscape

1:200

LEGEND

- S SINK
- + REDUCED LEVEL
- S/O STOVE/OVEN COOKTOP
- (SA) SMOKE ALARM
- W WASHING MACHINE
- D DRYER
- F FRIDGE
- DW DISHWASHER
- (DP) DOWNPIPE
- T.O.R TOP OF ROOF
- T.O.P TOP OF PARAPET
- B.I.R BUILD IN ROBE
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REVISION	NAME	DATE
REVISION A - SECTION 4.99	M.N	11/10/23



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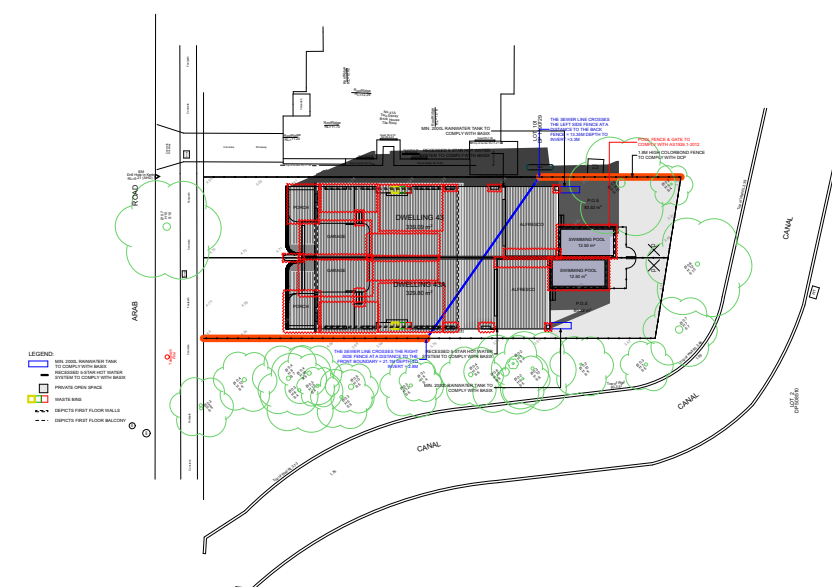
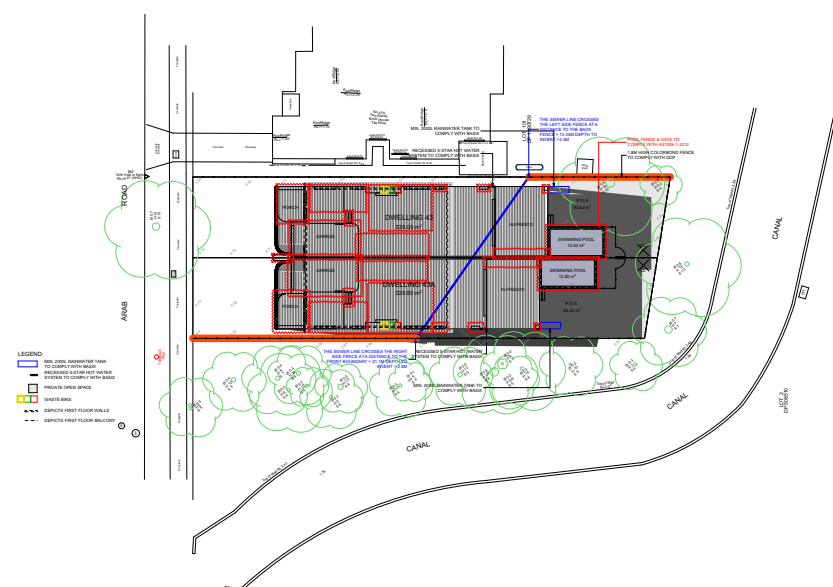
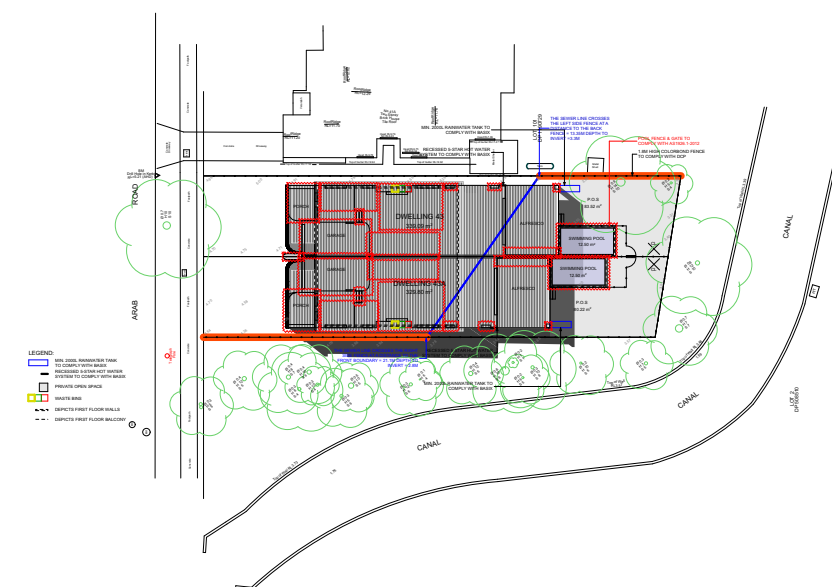
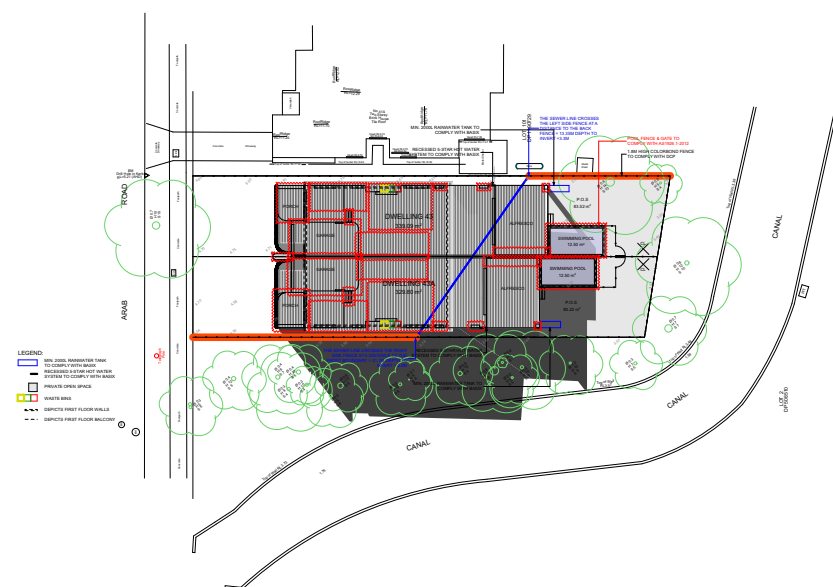
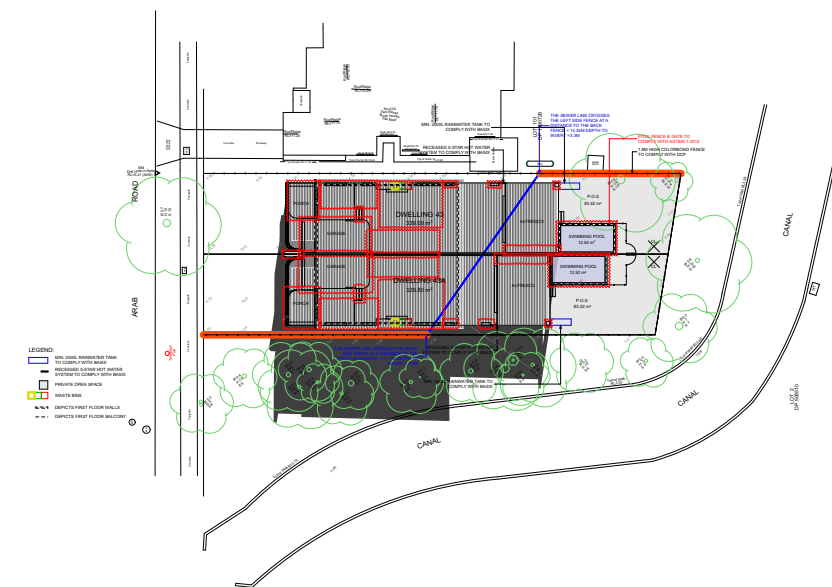
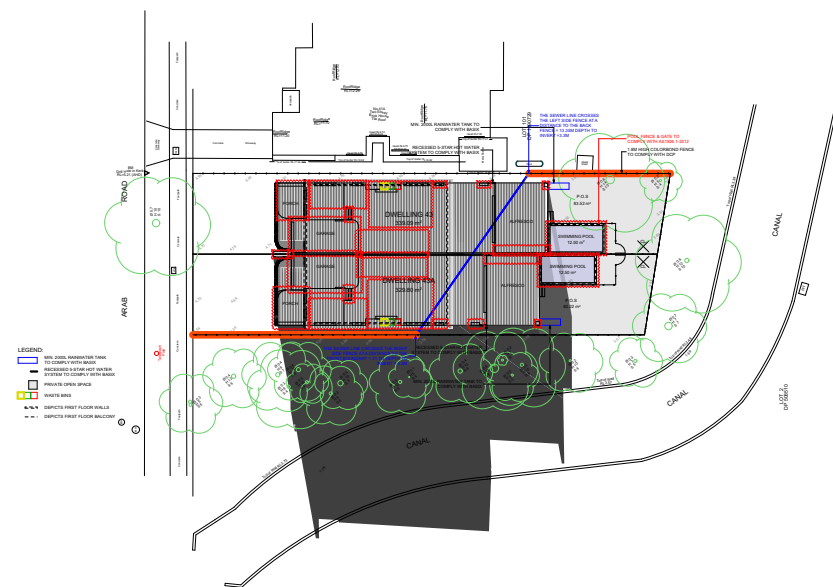
BUILDING DESIGNERS
ASSOCIATION OF AUSTRALIA

Client
MICK

Project Name
DUAL OCCUPANCY

At
43 ARAB RD, PADSTOW

Drawing Title: Streetscape		
BDA ACCREDITATION NO: 6455		Scale: As Noted A3
Project No: J0450		Designed By: M.N
Drawing No.: 06		Date: 11/10/2023



LEGEND

- | | |
|----------------|----------------------|
| S | SINK |
| + | REDUCED LEVEL |
| S/O | STOVE/OVEN COOKTOP |
| (SA) | SMOKE ALARM |
| W | WASHING MACHINE |
| D | DRYER |
| F | FRIDGE |
| DW | DISHWASHER |
| (DP) | DOWNPIPE |
| T.O.R | TOP OF ROOF |
| T.O.P | TOP OF PARAPET |
| B.I.R | BUILD IN ROBE |
| W.I.R | WALK IN ROBE |
| ➡ | WATER FLOW DIRECTION |
| X ^o | POOT HITCH |
| (FW) | FLOOR WASTE |
| L/C | LINEN CUPBOARD |
| P.O.S | PRIVATE OPEN SPACE |
| LP | LIGHT POLE |

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CONCEALED METAL FASTENED SHEET TO BE USED FOR ALL SKILLION ROOF COVERING

[illegible]

CAMPBELL HILL GROUP PTY LTD.
Contact: 0433 375 386
Email: campbellhillgroup@hotmail.com



**BUILDING DESIGNERS
ASSOCIATION OF AUSTRALIA**

Client
MICK

Project Name
DUAL OCCUPANCY

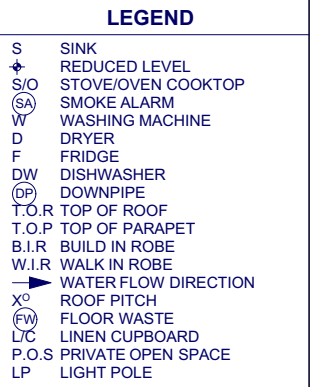
At
43 ARAB RD, PADSTOW

Drawing Title:
- Sun Study
 June 21 12pm, June 21 4pm, June 21 8am, March/Sept 21 12pm, March/Sept 21 4pm, March/Sept 21 8am

BDAA ACCREDITATION NO:	Scale: As Noted	A3
6455	Designed By: M.N	

Project No:	Drawing No.:
J0450	07

Date:	11/10/2023
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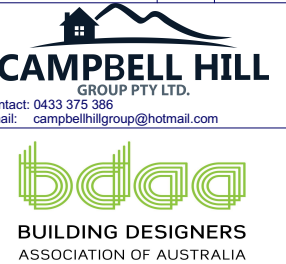
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NONCEALED METAL FASTENED SHEET TO BE USED FOR ALL SKILLION ROOF COVERING

[illegible]

Client
MICK

Project Name
DUAL OCCUPANCY

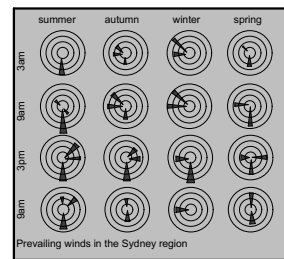
At
43 ARAB RD, PADSTOW

Drawing Title:
- **Site Analysis Plan**
Site Analysis Plan









DAA ACCREDITATION NO: 6455	Scale: As Noted	A3
	Designed By: M.N	

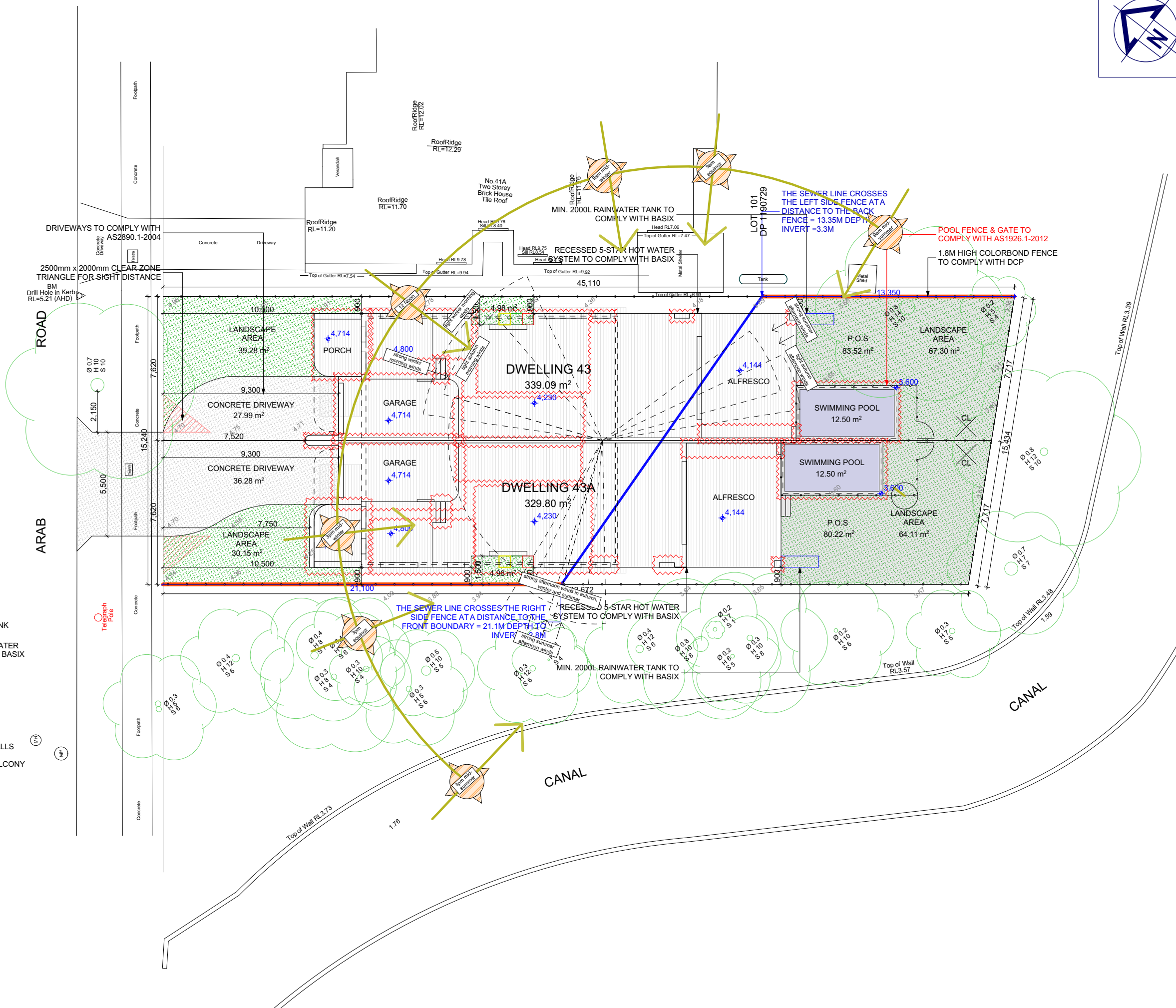
Project No:	Drawing No.:
J0450	08

Date:	11/10/2023
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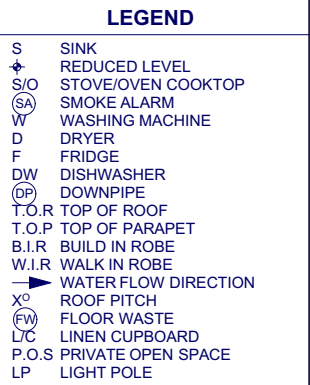
LEGEND:

-  MIN. 2000L RAINWATER TANK TO COMPLY WITH BASIX
-  RECESSED 5-STAR HOT WATER SYSTEM TO COMPLY WITH BASIX
-  CONCRETE AREA
-  LANDSCAPE AREA
-  PRIVATE OPEN SPACE
-  WASTE BINS
-  DEPICTS FIRST FLOOR WALLS
-  DEPICTS FIRST FLOOR BALCONY



Site Analysis Plan

1:200



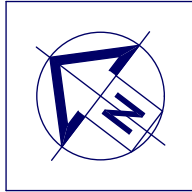
CONCEALED METAL FASTENED SHEET TO BE USED FOR
ALL SKILLION ROOF COVERING



Date: 11/10/2023

TO BE DEMOLISHED

1:200



LEGEND

S	SINK
✚	REDUCED LEVEL
SO	STOVE/OVEN COOKTOP
(SA)	SMOKE ALARM
W	WASHING MACHINE
D	DRYER
F	FRIDGE
DW	DISHWASHER
(DP)	DOWNPIPE
T.O.R	TOP OF ROOF
T.O.P	TOP OF PARAPET
B.I.R	BUILD IN ROBE
W.I.R	WALK IN ROBE
→	WATER FLOW DIRECTION
X°	ROOF PITCH
(FW)	FLOOR WASTE
L/C	LINEN CUPBOARD
P.O.S	PRIVATE OPEN SPACE
LP	LIGHT POLE

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REVISION	NAME	DATE
REVISION A - SECTION 4.55	M.N	11/10/23

[illegible]

Client _____

MICK

Project Name

DUAL OCCUPANCY

At

43 ARAB RD, PADSTOW

Drawing Title:
- Cut/Fill Plan

- Cut/Fill Plan
Cut/Fill Plan

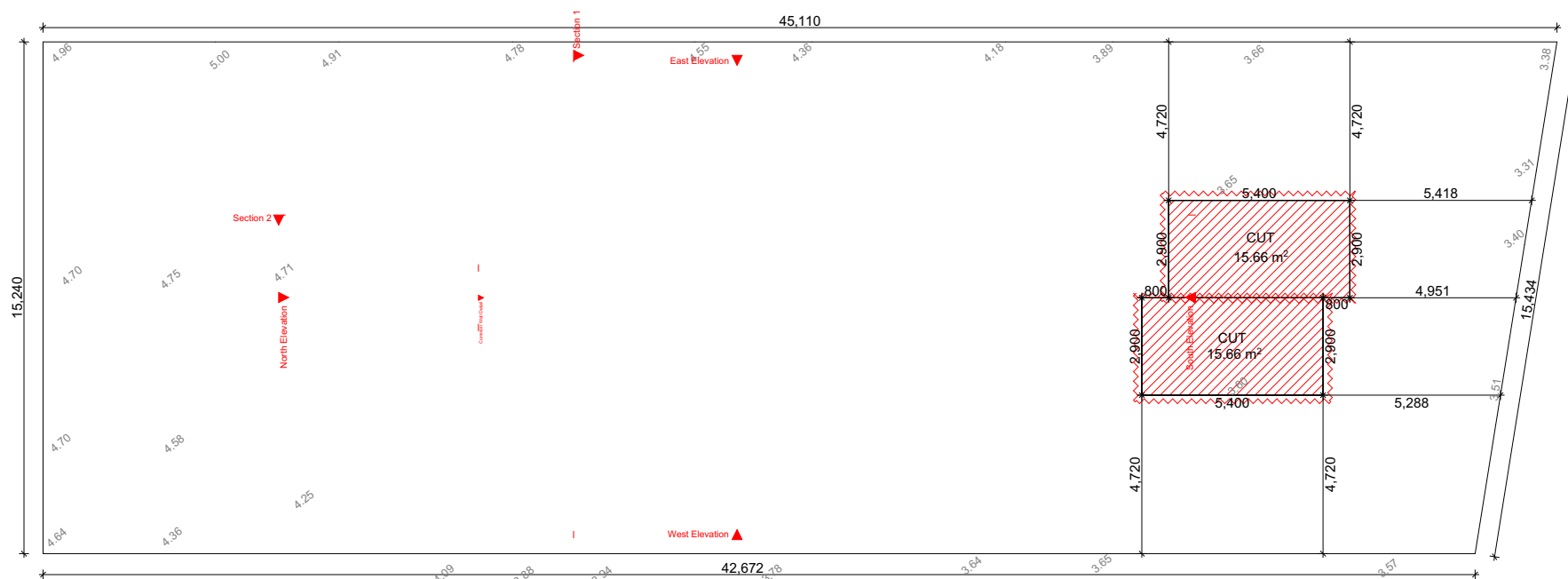
BDAACCREDITATION NO:	Scale: As Noted	A3
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6455	Designed By: M.N
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Project No:	Drawing No.:
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J0450	10
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Date: 11/10/2023

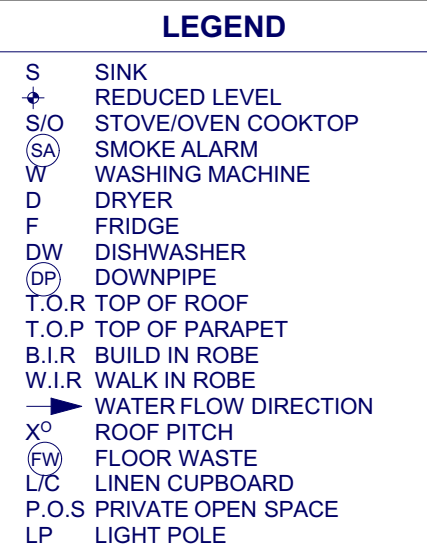


LEGEND:



Cut/Fill Plan

1:200



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PROVIDE 50mm SETDOWN TO SLAB TO WET AREA (GROUND FLOOR).

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WATERPROOFING OF WET AREAS WITHIN RESIDENTIAL
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-CONCEALED METAL FASTENED SHEET TO BE USED FOR ALL SKILLION ROOF COVERING

[illegible]

Client
MICK

Project Name
DUAL OCCUPANCY

At
43 ARAB RD, PADSTOW

Drawing Title:
- **Ground Floor Plan**
Ground Floor

BDAACCREDITATION NO:	Scale: As Noted	A
6455	Designed By: M.N	

Project No:	Drawing No.:
10450	11

Date:	11/10/2023
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1:100 | J0450



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[illegible]

Client

MICK

Project Name

DUAL OCCUPANCY

At

43 ARAB RD, PADSTOW

Drawing Title:

- First Floor Plan

BDAA ACCREDITATION NO:

6455

Scale: As Noted

Designed By: M.N

Project No.

10450

Drawing No.:

12

Date:

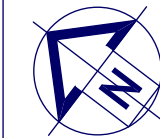
11/10/2023



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J0450

12



LEGEND

- S SINK
- ⬆️ REDUCED LEVEL
- S/O STOVE/OVEN COOKTOP
- (SA) SMOKE ALARM
- W WASHING MACHINE
- D DRYER
- F FRIDGE
- DW DISHWASHER
- (DP) DOWNPIPE
- T.O.R TOP OF ROOF
- T.O.P TOP OF PARAPET
- B.I.R BUILD IN ROBE
- W.I.R WALK IN ROBE
- ➡️ WATER FLOW DIRECTION
- X° ROOF PITCH
- (FW) FLOOR WASTE
- L/C LINEN CUPBOARD
- P.O.S PRIVATE OPEN SPACE
- LP LIGHT POLE

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REVISION	NAME	DATE
REVISION A - SECTION 4.95	M.N	11/10/23



CAMPBELL HILL
GROUP PTY LTD.
Contact: 0433 375 386
Email: campbellhillgroup@hotmail.com



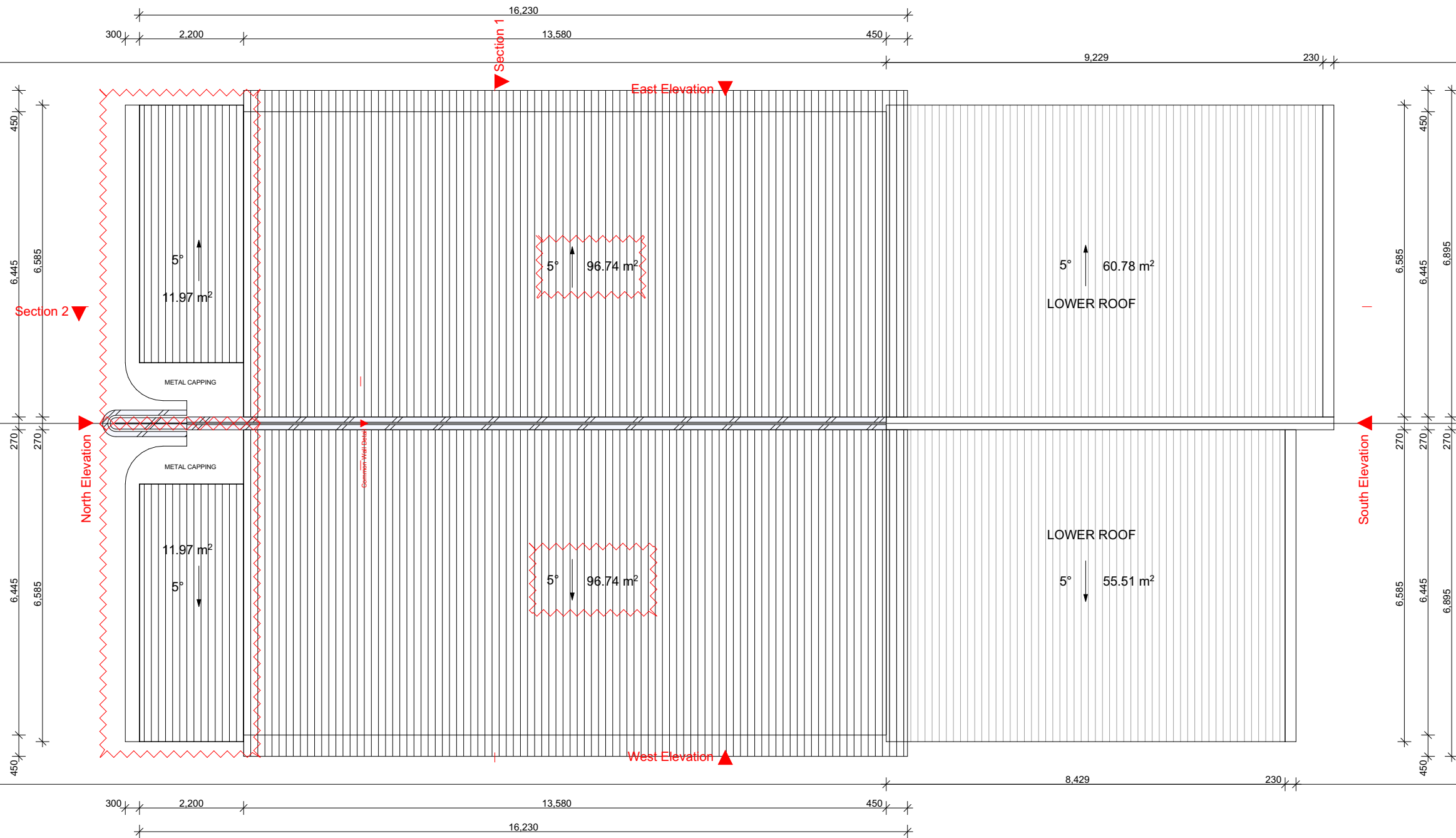
BDA
BUILDING DESIGNERS
ASSOCIATION OF AUSTRALIA

Client
MICK

Project Name
DUAL OCCUPANCY

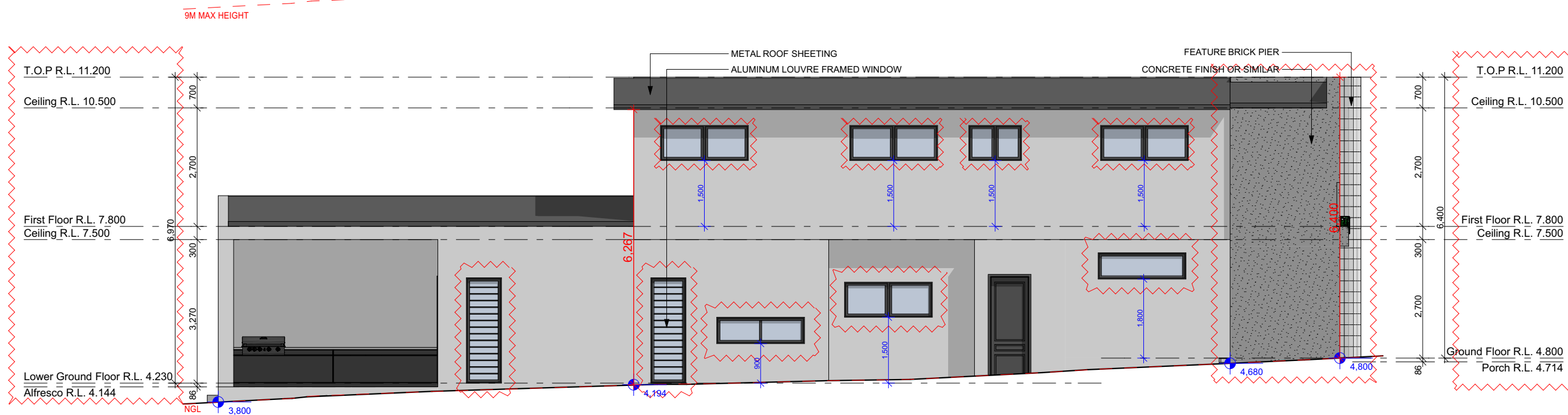
At
43 ARAB RD, PADSTOW

Drawing Title: - Roof Plan Roof Plan	
BDA ACCREDITATION NO: 6455	Scale: As Noted A3
Project No: J0450	Designed By: M.N
Date:	Drawing No.: 13
11/10/2023	



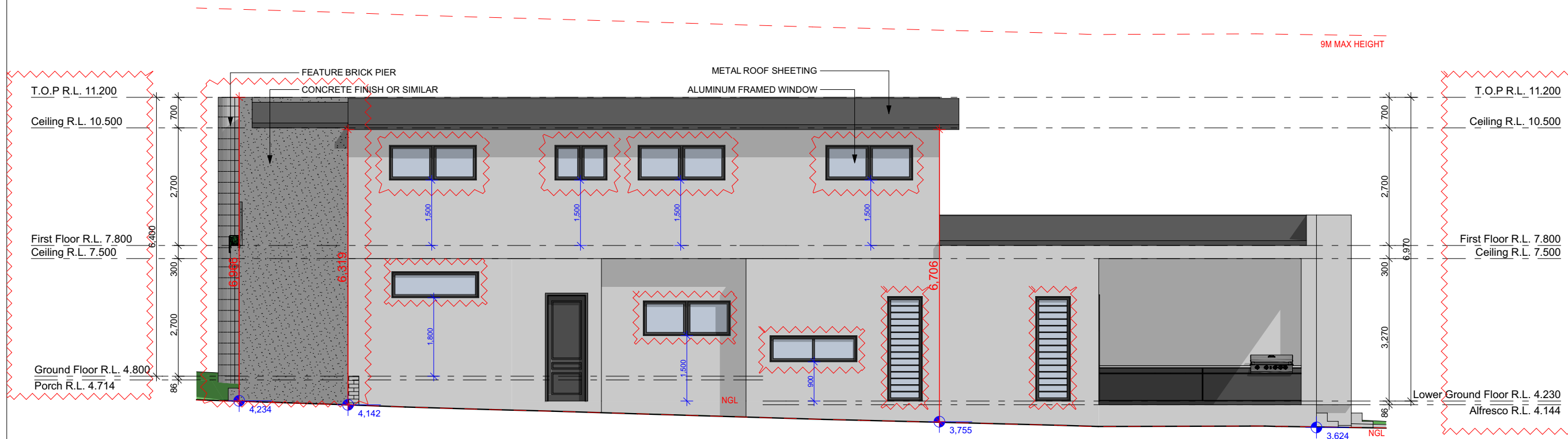
Roof Plan

1:100



East Elevation

1:100



West Elevation

1:100

LEGEND

S	SINK
◆	REDUCED LEVEL
S/O	STOVE/OVEN COOKTOP
(SA)	SMOKE ALARM
W	WASHING MACHINE
D	DRYER
F	FRIDGE
DW	DISHWASHER
(DP)	DOWNPIPE
T.O.R	TOP OF ROOF
T.O.P	TOP OF PARAPET
B.I.R	BUILD IN ROBE
W.I.R	WALK IN ROBE
—▶	WATER FLOW DIRECTION
X°	ROOF PITCH
(FW)	FLOOR WASTE
L/C	LINEN CUPBOARD
P.O.S	PRIVATE OPEN SPACE
LP	LIGHT POLE

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REVISION	NAME	DATE
REVISION A - SECTION 4.55	M.N	11/10/23

[illegible]

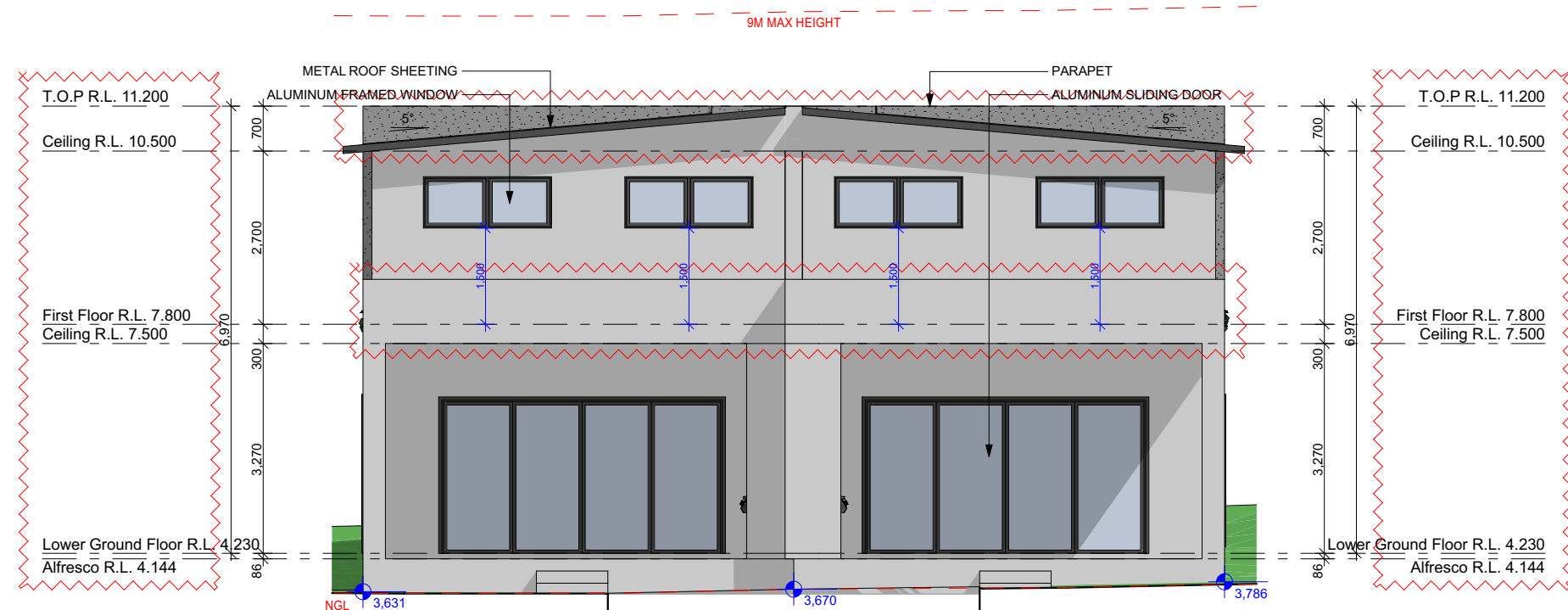
Client
MICK

Project Name
DUAL OCCUPANCY

At
43 ARAB RD, PADSTOW

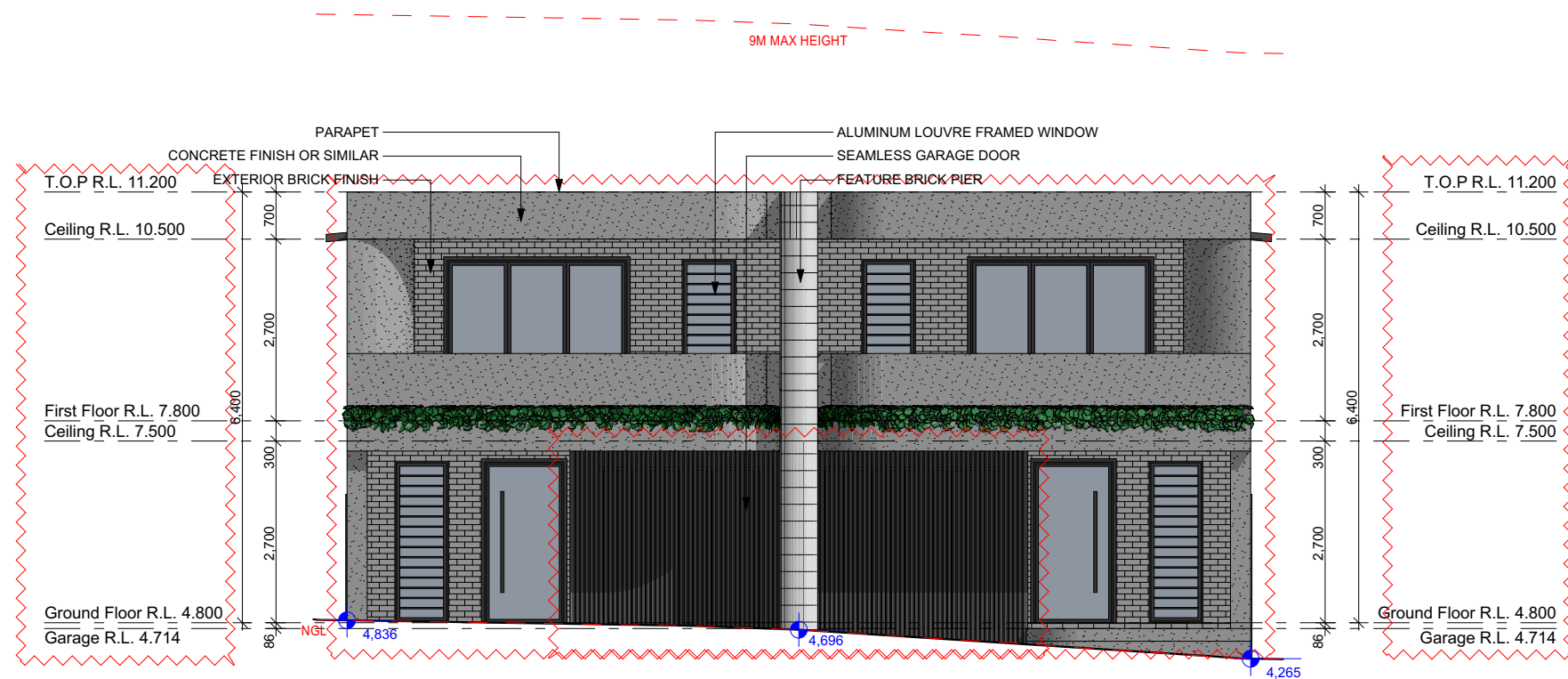
Drawing Title:
- Elevations
East Elevation, West Elevation

BDAIA ACCREDITATION NO: 6455	Scale: As Noted	A3
	Designed By: M.N	
Project No: J0450	Drawing No.: 14	
Date:	11/10/2023	



South Elevation

1:100



North Elevation

1:100

LEGEND

S	SINK
↑	REDUCED LEVEL
StO	STOVE/OVEN COOKTOP
(SA)	SMOKE ALARM
W	WASHING MACHINE
D	DRYER
F	FRIDGE
DW	DISHWASHER
(DP)	DOWNPIPE
T.O.R	TOP OF ROOF
T.O.P	TOP OF PARAPET
B.I.R	BUILD IN ROBE
W.I.R	WALK IN ROBE
→	WATER FLOW DIRECTION
X ^o	ROUGH PITCH
(FW)	FLOOR WASTE
L/C	LINEN CUPBOARD
P.O.S	PRIVATE OPEN SPACE
LP	LIGHT POLE

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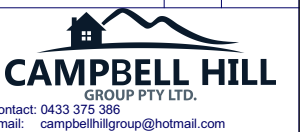
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[illegible]

Client

MICK

Project Name

DUAL OCCUPANCY

At

43 ARAB RD, PADSTOW

Drawing Title:

- Elevations

South Elevation, North Elevation

BDAA ACCREDITATION NO:	Scale: As Noted
6455	A3 Designed By: M.N
Project No:	Drawing No.:
J0450	15
Date:	11/10/2023



date:	11/10/2023
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The diagram shows a rectangular swimming pool with a light blue interior. The pool is surrounded by a white border, which is further enclosed by a red zigzag line representing a fence. Dimensions are given in feet (ft).

Horizontal Dimensions:

- Pool width: 5,400 ft
- Left border width: 200 ft
- Right border width: 200 ft

Vertical Dimensions:

- Pool length: 2,500 ft
- Top border width: 200 ft
- Bottom border width: 200 ft

Area Calculation:

The total area of the pool and its immediate borders is calculated as:

$$(5,400 + 200 + 200) \times (2,500 + 200 + 200) = 6,000 \times 3,100 = 18,600,000 \text{ sq. ft.}$$

The area of the pool itself is:

$$5,400 \times 2,500 = 13,500,000 \text{ sq. ft.}$$

The difference between the total area and the pool area is the area of the borders and fence:

$$18,600,000 - 13,500,000 = 5,100,000 \text{ sq. ft.}$$

The total area of the pool and its borders is 18,600,000 sq. ft., which is rounded to 19,000,000 sq. ft. in the final calculation.

Pool Capacity:

POOL CAPACITY 16KL

Final Area:

19,000,000 sq. ft.

Diagram illustrating the cross-section of a tank wall and floor junction, showing the water level and structural details.

Labels and Dimensions:

- WATER LEVEL
- 1800 (Vertical dimension of the wall)
- 900 (Vertical dimension of the floor slope)
- RL 3.600 (Reference Level)
- 200mm WIDE SELECTED EDGE TILE
- SELECTED PAVEMENT
- NON SLIP TILES
- SELECTED CERAMIC TILES
- RC FLOOR TO ENGINEER DETAILS

SWIMMING POOL TO BE IN ACCORDANCE WITH AS1926 OF
BCA AND ALL OTHER RELEVANT REGULATIONS

The diagram shows a rectangular swimming pool layout. The pool is represented by a light blue rectangle with the text "SWIMMING POOL" and "POOL CAPACITY 16KL" inside. The pool is surrounded by a red dashed border. The overall dimensions are indicated by arrows and numbers: the total width is 5,400 (with 200 on each side), and the total height is 2,900 (with 200 on each side). The inner pool dimensions are 5,000 by 2,500. A blue square with a crosshair is located at the bottom right corner of the pool area, labeled "FL 3,600".

Diagram illustrating the cross-section of a drainage channel. The channel is constructed with a concrete floor (RC FLOOR TO ENGINEER DETAILS) and lined with selected ceramic tiles. The water level is indicated by a dashed line. The channel depth is 900mm. The channel is bordered by a 200mm wide selected edge tile. The pavement on the right side is selected pavement non slip tiles. The diagram also shows a height of 1,800mm for the channel wall and a reference level (RL 3.600) for the pavement surface.

SWIMMING POOL TO BE IN ACCORDANCE WITH AS1926 OF
BCA AND ALL OTHER RELEVANT REGULATIONS

1:100

S	SINK
+	REDUCED LEVEL
StO	STOVE/OVEN COOKTOP
(SA)	SMOKE ALARM
W	WASHING MACHINE
D	DRYER
F	FRIDGE
(DW)	DISHWASHER
(DP)	DOWNPIPE
T.O.R	TOP OF ROOF
T.O.P	TOP OF PARAPET
B.I.R	BUILD IN ROBE
W.I.R	WALK IN ROBE
➡	WATER FLOW DIRECTION
X ^o	ROOF PITCH
(FW)	FLOOR WASTE
L/C	LINEN CUPBOARD
P.O.S	PRIVATE OPEN SPACE
LP	LIGHT POLE

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[illegible]

MICK

DUAL OCCUPANCY

At
43 ARAB RD, PADSTOW

- Swimming Pool Details

Scale: As Noted

Designed By: M.N

J0450

17

Date:	11/10/2023
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DOOR SCHEDULE

D00 REPRESENTS DOOR OPENINGS

Door Schedule									
Home Story	Ground Floor						First Floor		
Door Name	Door 19	Door 19	Door 19	Pocket Door 19	Sliding Door 19	Tilt Garage Door 19	Door 19	Rectangular Door O...	Sliding Door 19
ID	D01	D03	D04	D05	D06	D02	D04	D00	D07
Quantity	2	2	6	2	2	2	14	2	2
Height	2,400	2,400	2,060	2,050	2,400	2,400	2,060	2,100	2,400
Width	1,200	820	820	800	4,400	2,700	820	1,000	2,700
Elevation									

WINDOW SCHEDULE

Window List							
Home Story	Ground Floor				First Floor		
Window Name	Double Window 19	Window 19	Window 19	Window 19	Double Window 19	Double Window 19	Window 19
ID	W03	W01	W02	W04	W03	W05	W01
Quantity	2	6	2	2	10	2	2
Height	800	2,400	600	600	800	800	2,400
Width	2,000	800	2,000	2,000	2,000	1,200	800
Window sill height	1,500	0	1,800	900	1,500	1,500	0
Window head height	2,300	2,400	2,400	1,500	2,300	2,300	2,400
Elevation							

LEGEND

S

SINK

+

REDUCED LEVEL

S/O

STOVE/OVEN COOKTOP

(SA)

SMOKE ALARM

W

WASHING MACHINE

D

DRYER

F

FRIDGE

DW

DISHWASHER

(DP)

DOWNPIPE

T.O.R

TOP OF ROOF

T.O.P

TOP OF PARAPET

B.I.R

BUILD IN ROBE

W.I.R

WALK IN ROBE

→

WATER FLOW DIRECTION

X°

ROOF PITCH

(FW)

FLOOR WASTE

L/C

LINEN CUPBOARD

P.O.S

PRIVATE OPEN SPACE

LP

LIGHT POLE

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CAMPBELL HILL

GROUP PTY LTD.

Contact: 0433 375 386

Email: campbellhillgroup@hotmail.com

bdaa

BUILDING DESIGNERS

ASSOCIATION OF AUSTRALIA

Client

MICK

Project Name

DUAL OCCUPANCY

At

43 ARAB RD, PADSTOW

Drawing Title:

- Window & Door Schedule

Door List, Window List

BDAA ACCREDITATION NO:

6455

Project No:

J0450

Scale: As Noted

A3

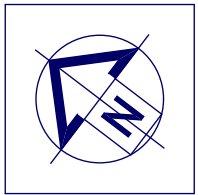
Designed By: M.N

Drawing No.:

18

Date:

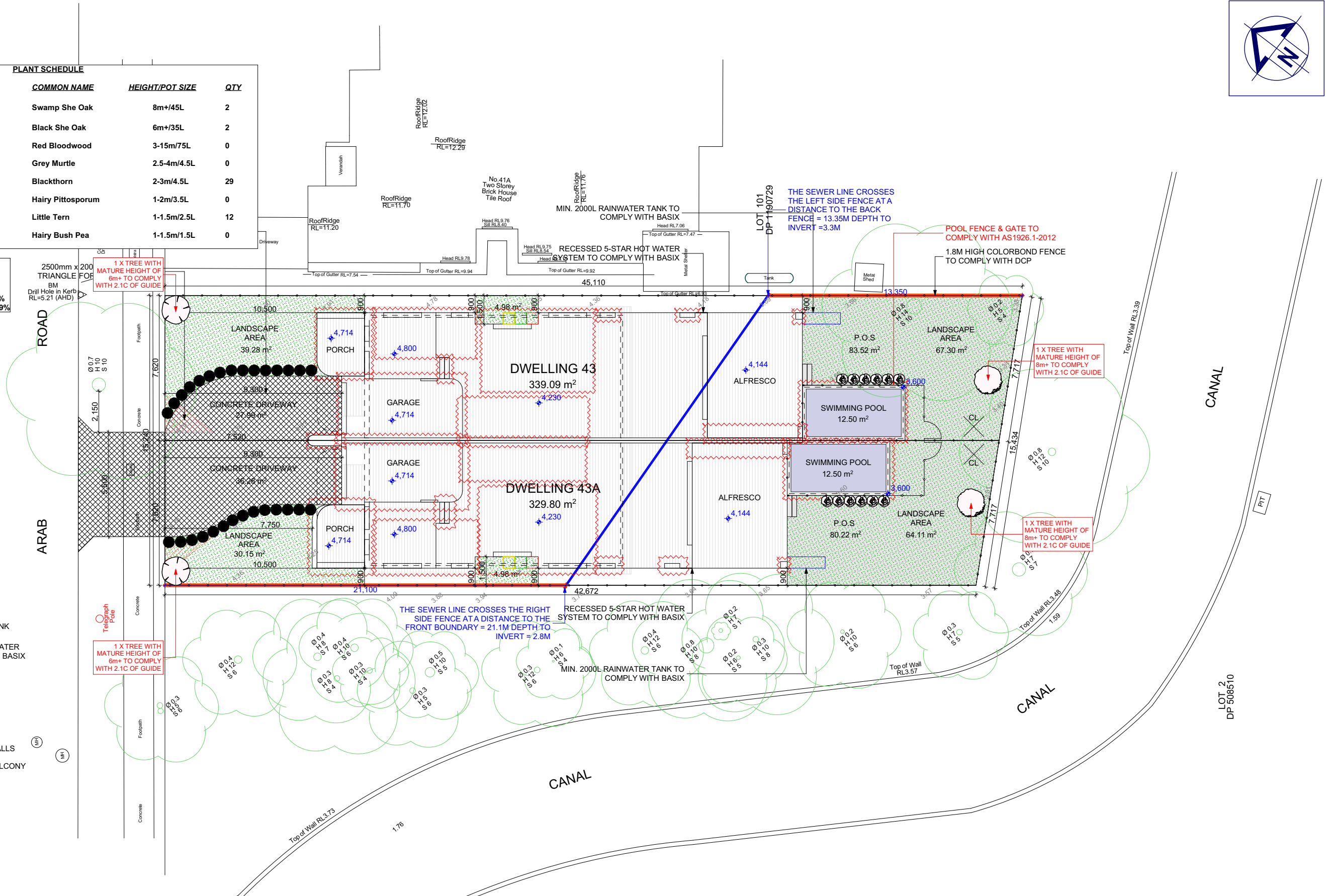
11/10/2023



PLANT SCHEDULE				
CODE	BOTANIC NAME	COMMON NAME	HEIGHT/POT SIZE	QTY
CG	Casuarina Glauca	Swamp She Oak	8m+/45L	2
AL	Allocasuarina Littoralis	Black She Oak	6m+/35L	2
CG	Corymbia Gummifera	Red Bloodwood	3-15m/75L	0
BM	Backhousia Myrtifolia	Grey Murtie	2.5-4m/4.5L	0
BS	Bursaria Spinosa	Blackthorn	2-3m/4.5L	29
PR	Pittosporum Revolutum	Hairy Pittosporum	1-2m/3.5L	0
EP	Epacris Purpurascens	Little Tern	1-1.5m/2.5L	12
PV	Pultenaea Villosa	Hairy Bush Pea	1-1.5m/1.5L	0

LANDSCAPE RATIO:
REQUIRED (min.): 45% Between dual occupancy and the primary frontage.
Proposed for DWELLING 43: 39.28m² 58.39%
Proposed for DWELLING 43A: 30.15m² 45.39%

- LEGEND:**
- MIN. 2000L RAINWATER TANK TO COMPLY WITH BASIX
 - RECESSED 5-STAR HOT WATER SYSTEM TO COMPLY WITH BASIX
 - CONCRETE AREA
 - LANDSCAPE AREA
 - PRIVATE OPEN SPACE
 - WASTE BINS
 - DEPICTS FIRST FLOOR WALLS
 - DEPICTS FIRST FLOOR BALCONY



Landscape Plan

ECO DESIGN LANDSCAPE SOLUTIONS



TEL: (02) 8710 1125

EMAIL:
ECOPLANS@OUTLOOK.COM

LANDSCAPE PLAN

ADDRESS: 43 ARAB ROAD
SUBURB: PADSTOW

CLIENT: CAMPBELL HILL GROUP

AMENDED: MN DATE: 11/10/2023

JOB REF: 43ARA SCALE: 1:200 A3

DRAWN: MN SHEET: 1/1



<div>LEGEND</div> <div><div><div>S</div><div>↓</div><div>SINK</div></div><div><div>S/O</div><div>↓</div><div>REDUCED LEVEL</div></div><div><div>(SA)</div><div>↓</div><div>STOVE/OVEN COOKTOP</div></div><div><div>W</div><div>↓</div><div>SMOKE ALARM</div></div><div><div>D</div><div>↓</div><div>WASHING MACHINE</div></div><div><div>F</div><div>↓</div><div>DRYER</div></div><div><div>DW</div><div>↓</div><div>FRIDGE</div></div><div><div>(DP)</div><div>↓</div><div>DISHWASHER</div></div><div><div>T.O.R</div><div>↓</div><div>DOWNPIPE</div></div><div><div>T.O.P</div><div>↓</div><div>TOP OF ROOF</div></div><div><div>S.I.R</div><div>↓</div><div>TOP OF PARAPET</div></div><div><div>W.I.R</div><div>↓</div><div>BUILD IN ROBE</div></div><div><div>W.I.R</div><div>↓</div><div>WALK IN ROBE</div></div><div><div>→</div><div>↓</div><div>WATER FLOW DIRECTION</div></div><div><div>X°</div><div>↓</div><div>ROOF PITCH</div></div><div><div>(FV)</div><div>↓</div><div>FLOOR WASTE</div></div><div><div>L/C</div><div>↓</div><div>LINEN CLIPBOARD</div></div><div><div>P.O.S</div><div>↓</div><div>PRIVATE OPEN SPACE</div></div><div><div>L.P</div><div>↓</div><div>LIGHT POLE</div></div></div>								
<div>GENERAL NOTES</div> <div><div>THE BUILDER SHALL CHECK AND VERIFY ALL DIMENSIONS AND VERIFY ALL ERRORS AND OMISSIONS TO THE ARCHITECT. DO NOT SCALE THE DRAWINGS. DRAWINGS SHALL NOT BE USED FOR CONSTRUCTION PURPOSES UNLESS ISSUED BY THE ARCHITECT FOR CONSTRUCTION.</div><div>CHECK ALL DIMENSIONS ON THE JOB PRIOR TO COMMENCEMENT OF KITCHEN DRAWINGS OR FABRICATION. ANY DISCREPANCIES TO BE REFERRED TO THE ARCHITECT/ENGINEER/DESIGNER PRIOR TO COMMENCEMENT OF WORK.</div><div>ALL WORK TO BE IN ACCORDANCE WITH THE BUILDING CODE OF AUSTRALIA, NSW DESIGN STANDARDS, THE LOCAL COUNCIL, AND AUSTRALIAN STANDARDS.</div><div>ALL DRAWINGS SHOULD BE READ IN CONJUNCTION WITH ARCHITECTURAL SPECIFICATION AND SCHEDULES. CONSULTANTS DOCUMENTATION.</div><div>DRAWINGS ARE NOT TO BE SCALED FOR DIMENSIONS PURPOSES. FIGURED DIMENSIONS SHALL PREVAIL.</div><div>FOOTINGS AND BEAMS TO ENGINEERS DRAWING AND SEAL.</div><div>TIMBER USED SHALL BE IN ACCORDANCE WITH AS 1684 OF 15MM FRAMING CODE.</div><div>PROVIDE 15MM STRAIN IN SQUARE TO SLAB TO WET AREA (GROUND FLOOR).</div><div>WET AREAS TO BE IN ACCORDANCE WITH AS3740 WATERPROOFING OF WET AREAS WITHIN RESIDENTIAL BUILDINGS.</div><div>SMOKE ALARMS ARE TO BE INSTALLED IN ACCORDANCE WITH AS3786. ALARMS TO BE POSITIONED ON THE CEILING AND SET BACK A MINIMUM DISTANCE 300mm FROM ANY WALL.</div><div>ALL GROUND LINES ARE APPROXIMATE ONLY AND ARE TO BE VIEWED ON SITE.</div><div>ALL WINDOW SIZES ARE APPROXIMATE ONLY AND FINAL SIZES MUST BE DETERMINED BY THE BUILDER.</div><div>CONCEALED METAL FASTENED SHEET TO BE USED FOR ALL SKILLION ROOF COVERING.</div></div>								
<table><tr><th>REVISION</th><th>NAME</th><th>DATE</th></tr><tr><td>REVISION A - SECTION 4.05</td><td>M.N</td><td>11/10/23</td></tr></table>			REVISION	NAME	DATE	REVISION A - SECTION 4.05	M.N	11/10/23
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